

# Northville DDA Economic Development Committee

Tuesday, July 21, 2020 – 8:00 am

Via Zoom Meeting

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The meeting will be held via video conference in compliance with Executive Order 2020-75, issued by Michigan Governor Whitmer, temporary authorization of remote participation in public meetings and hearings. Members of the public body and members of the public participating electronically will be considered present at the meeting and may participate as if physically present at the meeting.

The following is a link to attend the meeting: [https://us02web.zoom.us/j/8689543505213126266799 US](https://us02web.zoom.us/j/8689543505213126266799US) (Chicago) Meeting ID: 868 9543 5052

Log in Instructions, Meeting Rules and Tips are available on the City's website at this link: <https://www.ci.northville.mi.us/cms/One.aspx?portalId=11895963&pageId=13505469#pc> OR from the main Home page, click on the Government tab, then Agendas and Minutes, scroll to the Downtown Development Authority section of the webpage, and scroll down to the link for this meeting. "Zoom Webinar User Guide for City of Northville Public" is also available on this website page."

## Meeting Agenda

1. Public Comment
2. 150 – 156 N. Center Street – Presentation by Robert Miller (Attachment 2)
3. Social District Update (Attachment 3)
4. Master Plan Update - Carol Maise (Attachment 4)
5. Next Meeting - TBD



June 22, 2020

**Planning Commission  
City of Northville, Michigan  
Commission Members**

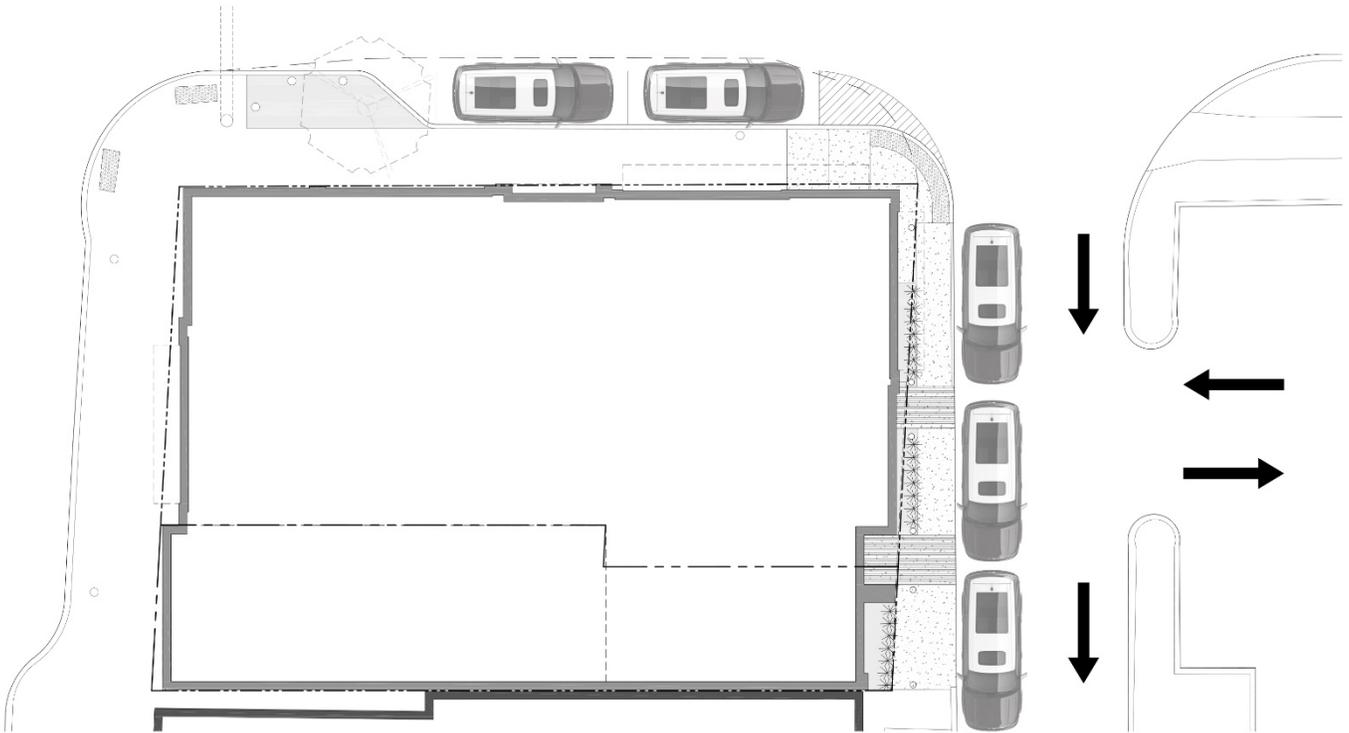
Re: 150 / 156 North Center Street  
Northville, Michigan  
HDC Conceptual Review

**Dear Commission Members:**

We are very excited to be presenting to you at your next Planning Commission meeting to further our discussion of the proposed project and, hopefully, obtain your approval of the final site plan. We are providing the following information to address a few of the comments from the review letter provided by Sally Elmiger of Carlisle Wortman, dated May 28, 2020.

1. *Hours of operation for the proposed restaurant:*  
We have provided this information on the project cover sheet.
2. *How will trash be handled?*  
All trash will be placed in the existing receptacles located in the parking lot, currently used by the existing building tenants and maintained by the DDA.
3. *Consider ways to add more pedestrian amenities:*  
We have added bicycle racks and benches to the proposed site plan, all of which will be per the DDA's guidelines and coordinated with them for final design and placement.
4. *Combine units 3 and 4 to create a unit of adequate size or obtain a variance.*  
We have combined the units into a single unit.
5. *Provide photometric for exterior lighting:*  
We have provided a site photometric showing the footcandles along the property line for the proposed building mounted accent lights. A cut sheet of the lights has been provided as well.

Additionally, per the review letter and our discussion at the June 1 planning commission meeting there was a great deal of discussion regarding the loading zone proposed location, and the parking requirements for the project. We have submitted the final drawings with the loading zone located in the rear of the building, where the current loading area is for the Tuscan building. However, it is the intentions of the project developer to work with the City of Northville and the Downtown Development Authority to work through the existing parking drive lane and loading areas behind the project, and the adjacent buildings. The DDA's Parking Committee has met and has begun discussions about creating a one-way in scenario at the existing parking lot access on Dunlap Street. This will create an open lane along the rear of the buildings that can be used for loading and unloading, and after certain hours of the day can be used for parking by changing the use of the lane to new parking spaces, which could be up to (3) spaces behind the proposed new building alone. The following image is an illustration for the concept:



Additionally we are still proposing to provide (2) on-street parking spaces on Dunlap Street in front of the new building. As such, with the project requesting 10.8 parking credits for the residential uses it should be understood that the developer is also working to create new parking spaces for the city, even though they cannot be used specifically for their project, and to assist them in finding solutions for the existing loading/unloading and parking lot traffic congestion. We hope this effort is viewed favorably.

We hope this information, along with the submitted drawings, helps better your understanding of the project. We will prepare a full presentation for the meeting and truly look forward to our discussion and to the potential this project has for the City of Northville!

Sincerely,

Robert E Miller, aia  
Principal  
**M Architects**

Greg Presley  
Principal  
**Presley Architecture**

# UMT-31396

## Matrix 1 Surface

7144 NE Progress Ct | Hillsboro, Oregon 97124 | T:503.645.0500 | F:503.645.8100 | www.ligmanlightingusa.com



6/14w COB 1128 Lumens Down, 80 Lumens Up  
IP65 • Suitable For Wet Locations  
IK07 • Impact Resistant  
Weight 4.6 lbs

### Construction

#### Aluminum

Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

#### Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

#### Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

#### Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

#### Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

#### BUG Rating

B1 - U3 - G0

#### Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

#### Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

#### Hardware

Provided Hardware is Marine grade 316 Stainless steel.

#### Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

#### Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

#### Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

#### Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

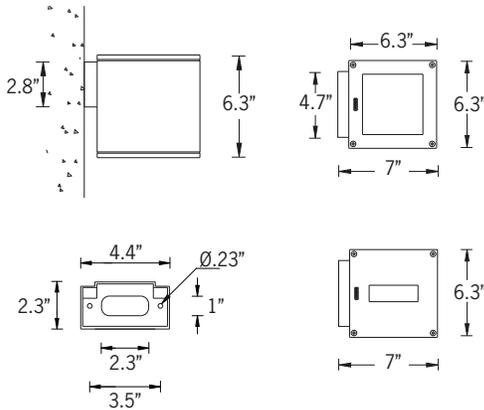
**Square surface wall-mounted architectural lighting range. Family of lighting effects sanctioning imagination and inspiration to reign in designs.**

A small profile wall mounted compact cubic luminaire with up and downward light distributions. The Matrix is designed with five light distribution options, namely narrow, medium, wide, very wide and spike.

The Matrix uses high efficiency, long life LEDs and is designed to illuminate the wall and surfaces in front of the wall, as well as light accents on vertical and horizontal surfaces. The Matrix is suitable for indoor and outdoor applications.

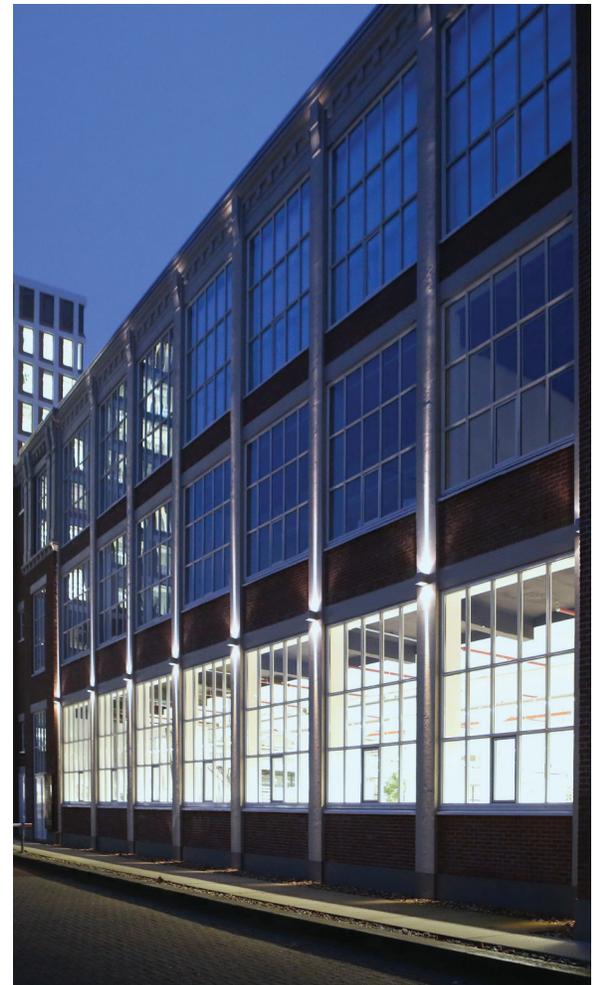
This luminaire is available with decorative spikes and can be used with various combinations of light distribution optics.

This luminaire can be mounted at different angles to produce interesting decorative lighting effects on the side of the building facade. The standard Matrix is designed to mount over a 3" octagonal j-box, a 4" j-box cover plate is available upon request.



Mounting Detail

### Matrix Product Family



# 150-156 NORTH CENTER STREET NEW BUILDING AND BUILDING ADDITION

NORTHVILLE, MICHIGAN

ISSUE DATE

05-10-2020 P.C. REVIEW  
05-17-2020 H.D.C. REVIEW  
06-22-2020 P.C. REVIEW

NOT FOR CONSTRUCTION

**PRESLEY ARCHITECTURE**  
108 N. CENTER ST., SUITE 205 NORTHVILLE, MI 48167  
P. 248.348.1124. F. 248.348.9300 E. gregpresley@comcast.net

**M ARCHITECTS**  
114 RAYSON STREET SUITE 2C NORTHVILLE, MICHIGAN 48167  
PHONE 248.349.2708  
marchitect.com

PROJECT  
NEW BUILDING AND BUILDING ADDITION  
at  
150 / 156 North Center Street  
Northville, MI 481467

PROJECT ADDRESS  
150 / 156 North Center Street  
Northville, MI 48167

PROJECT NUMBER  
19.18

SHEET NAME  
COVER SHEET

SHEET NUMBER  
C1.0

DO NOT SCALE DRAWINGS; USE NOTED DIMENSIONS ONLY.

THIS DRAWING IS THE PROPERTY OF M ARCHITECTS. UNAUTHORIZED USE OF ANY KIND, INCLUDING USE ON OTHER PROJECTS, IS PROHIBITED.

Owner |  
156 N Center LLC  
42300 West Nine Mile Road  
Novi, Michigan 48375  
248 | 349 | 1009

Architect  
M Architects  
114 Rayson Street  
Suite 2C  
Northville, Michigan 48167  
248 | 349 | 2708

Civil Engineer |  
Zeimet Wozniak & Associates  
55800 Grand River  
Suite 100  
New Hudson, Michigan 48165  
248 | 437 | 5099

PARKING CALCULATIONS - EXISTING					
USE	PARKING REQUIREMENTS	USE AREA	CALCULATION	TOTAL SPACES REQUIRED	EXISTING PARKING SPACES
RESTAURANT	1 space / 150 sqft	150 N CENTER (TUSCAN CAFE): 1,505 sqft 156 N CENTER: 0	1,505 / 150 = 10 SPACES	21.5 SPACES	150 N CENTER: 9.0 SPACES PREVIOUSLY PURCHASED BY BUILDING OWNER 156 N CENTER: 4.0 SPACES ON SITE (THESE WILL BE REMOVED) 10.2 SPACES PREVIOUSLY PURCHASED BY BUILDING OWNER  TOTAL EXISTING: 23.2 SPACES
RESIDENTIAL	1 space / Bedroom	150 N CENTER: (3) TOTAL BEDROOMS 156 N CENTER: 0	3 * 1 = 3 SPACES		
OFFICE	1 space / 250 sqft	150 N CENTER: 0 156 N CENTER: 2,105 sqft	2,105 / 250 = 8.5 SPACES		

PARKING CALCULATIONS - PROPOSED					
USE	PARKING REQUIREMENTS	USE AREA	CALCULATION	TOTAL SPACES REQUIRED	PARKING SPACES PROVIDED
RESTAURANT	1 space / 150 sqft	150-156 N CENTER: 3,525 sqft (NEW RESTAURANT 2,434 sqft / NEW TUSCAN 1,091 sqft)	3,525 / 150 = 23.5 SPACES	23.5 + 12 = 35.5 SPACES	EXISTING PARKING CREDITS: 24.2 SPACES  THEREFORE, 10.8 PARKING SPACES WILL REQUIRE CASH IN LIEU.
RESIDENTIAL	1 space / Bedroom # of Bedrooms / Flex Rooms	FIRST FLOOR SECOND FLOOR THIRD FLOOR TOTAL - 6 6 12	12 * 1 = 12 SPACES		

PROJECT INFORMATION - EXISTING													
ZONING	EXISTING LAND USE	EXISTING LOT SIZE	EXISTING LOT COVERAGE	EXISTING BUILDING SIZE	EXISTING BUILDING USE				EXISTING F.A.R.				
CBD	COMMERCIAL / RESIDENTIAL	150 N CENTER: 1,588 sqft (.036 ACRES) 156 N CENTER: 3,785 sqft (.087 ACRES)  PROJECT TOTAL: 5,383 sqft (1.123 ACRES)	150 N CENTER: 94.7% 156 N CENTER: 55.4%	150 N CENTER: 1,505 sqft 156 N CENTER: 2,105 sqft	FIRST FLOOR 1,505 sqft	SECOND FLOOR 1,216 sqft	THIRD FLOOR -	BUILDING TOTAL 2,721 sqft	BUILDING FOOTPRINT 1,505 sqft	150 N CENTER: RESTAURANT	SECOND FLOOR RESIDENTIAL	THIRD FLOOR -	150 N CENTER: 2721 / 1588 = 1.71
PROJECT INFORMATION - PROPOSED													
ZONING	PROPOSED LAND USE	LOT SIZE	PROPOSED LOT COVERAGE	PROPOSED BUILDING SIZE	PROPOSED BUILDING USE				PROPOSED F.A.R.				
CBD - SEE INFO BELOW	COMMERCIAL / RESIDENTIAL	PROJECT TOTAL: 5,383 sqft (1.123 ACRES)	150-156 N CENTER: 95.5%	150-156 N CENTER: 5,142 sqft 5,138 sqft 4,764 sqft 15,044 sqft 5,142 sqft	FIRST FLOOR 5,142 sqft	SECOND FLOOR 5,138 sqft	THIRD FLOOR 4,764 sqft	BUILDING TOTAL 15,044 sqft	BUILDING FOOTPRINT 5,142 sqft	150-156 N CENTER: RESTAURANT	SECOND FLOOR RESIDENTIAL	THIRD FLOOR RESIDENTIAL	150-156 N CENTER: 15,044 / 5,383 = 2.79
ZONING REGULATIONS													
REQUIRED	AREA	WIDTH	MIN. LOT SIZE	MAX. BUILDING HEIGHT	MINIMUM YARD SETBACK	MAXIMUM FLOOR AREA RATIO	MINIMUM LANDSCAPE AREA	MAXIMUM LOT COVERAGE	MINIMUM FLOOR AREA	PROPOSED FOOTNOTES			
PROPOSED	N/A	N/A	3	42	FRONT N/A LEAST SIDE N/A TOTAL N/A REAR 20'	3.0	N/A	N/A	N/A	(a) PROPOSED BUILDING HEIGHT IS MEASURED TO THE FLAT ROOF ELEVATION. THE TOWER ELEMENT IS 41'-6". THE HEIGHT TO THE TALLEST PARAPET IS 39'-4". THE HEIGHT TO THE TOP OF THE ELEVATOR STAIR TOWER IS 43'-8". (b) THE PROJECT IS SEEKING PLANNING COMMISSION APPROVAL FOR A ZERO (0) REAR YARD SETBACK, AS THE PROJECT PROPOSES TO UTILIZE A NEWLY CONSTRUCTED DROP OFF AND LOADING ZONE ALONG DUNKLAP STREET. THE INTENTION OF THIS ZONE IS TO REDUCE TRAFFIC IN THE EXISTING PARKING LOT.			

UNIT CALCULATIONS					
FLOOR	UNIT #	UNIT AREA	# BEDROOMS	# FLEX ROOMS	
2	1	1,341 sqft	2	0	
2	2	1,139 sqft	1	1	
2	3	1,510 sqft	2	0	
3	4	1,341 sqft	2	0	
3	5	1,139 sqft	1	1	
3	6	1,195 sqft	1	1	
TOTALS	7	7,334 sqft	9	3	

PROPOSED RESTAURANT HOURS OF OPERATION						
SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
CLOSED	4-10	4-10	4-10	4-10	4-11	4-11

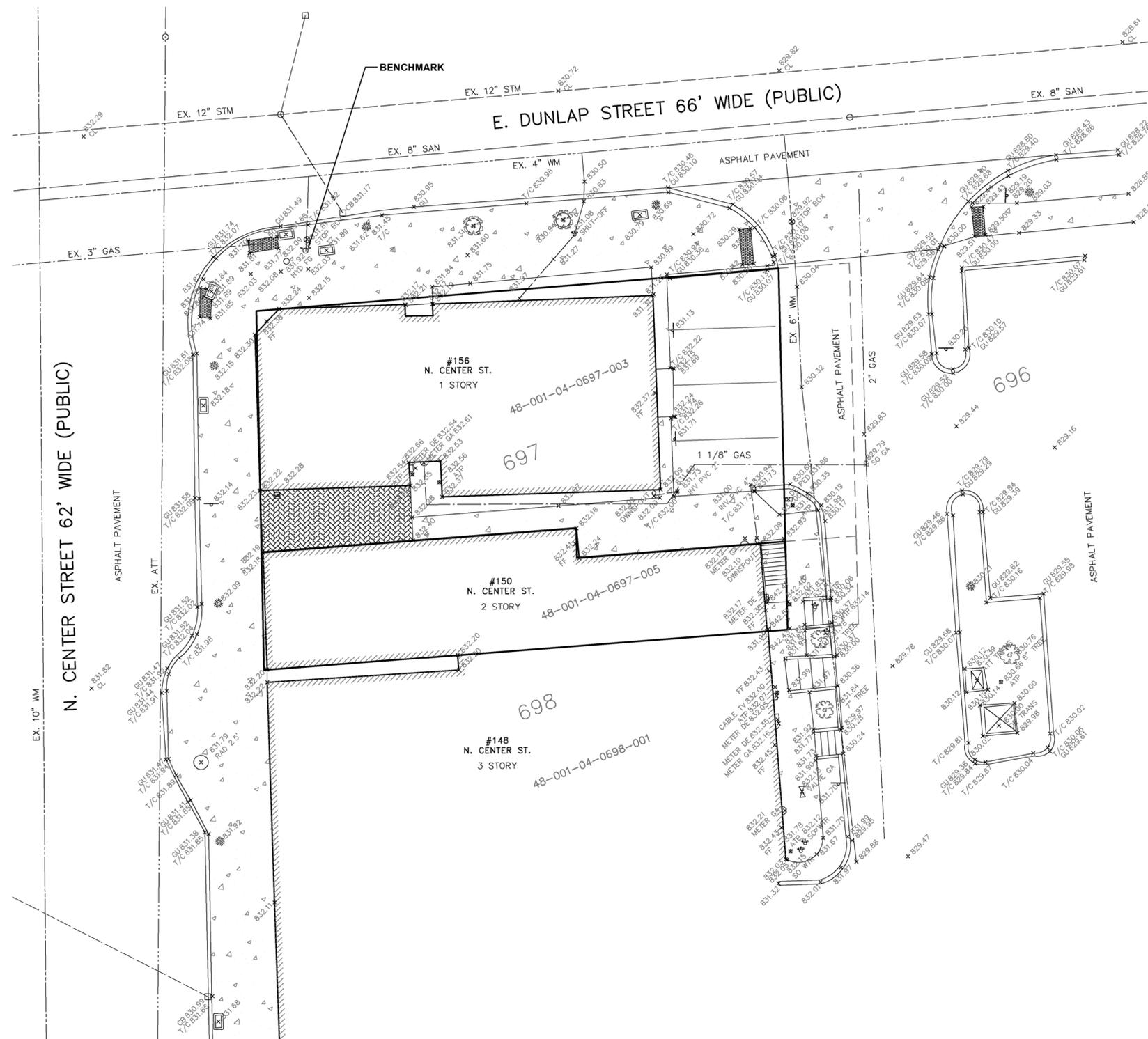
NOTE:  
ALL TRASH TO BE COLLECTED WITHIN THE BUILDING AND TAKEN TO THE EXISTING DUMPSTERS LOCATED IN THE PARKING LOT.

DRAWING SHEET INDEX

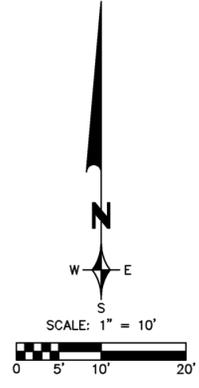
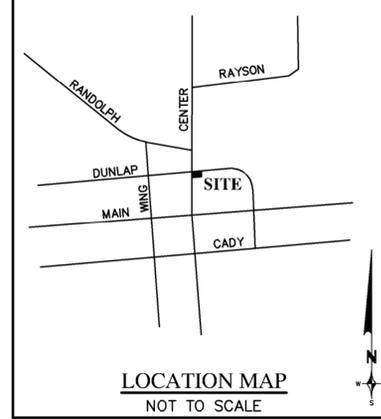
SHEET TITLE	SHEET NUMBER	ISSUE DATE
COVER SHEET	C1.0	
BOUNDARY AND TOPOGRAPHIC SURVEY	S-1	
SITE PREPARATION PLAN	S-2	
SITE GRADING PLAN	S-3	
SITE UTILITY PLAN	S-4	
NOTES AND DETAILS	S-5	
EXISTING PHOTOGRAPHS	A100	
ARCHITECTURAL SITE PLAN	A101	
FIRST LEVEL FLOOR PLAN	A102	
SECOND LEVEL FLOOR PLAN	A103	
THIRD LEVEL FLOOR PLAN	A104	
ROOF PLAN	A105	
EXISTING EXTERIOR ELEVATIONS	A301	
PROPOSED EXTERIOR ELEVATIONS	A302	
PROPOSED EXTERIOR ELEVATIONS	A303	
PROPOSED EXTERIOR ELEVATIONS	A304	
PROPOSED EXTERIOR ELEVATIONS	A305	
RENDERINGS	A306	
PHOTOMETRIC PLAN	L201	



**NORTH**  
LOCATION MAP  
NO SCALE



**BENCHMARK:**  
 ARROW ON HYDRANT  
 AT SOUTHWEST CORNER  
 OF N. CENTER STREET  
 AND E. DUNLAP STREET  
 ELEVATION: 834.24  
 USGS DATUM



**LEGEND**

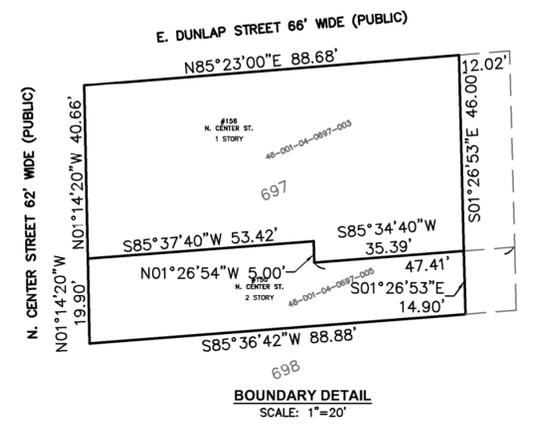
---	BOUNDARY LINE
---	PARCEL LINE
---	SANITARY SEWER
---	STORM SEWER
---	WATER MAIN
---	GAS MAIN
---	ELECTRIC CABLE
□	CATCH BASIN
○	ROOF DRAIN
○	GATE VALVE
○	HYDRANT
○	WATER SHUT-OFF
○	LIGHT POLE
○	SIGN
○	TREE
CL	CENTERLINE
FF	FINISH FLOOR
T/C	TOP OF CURB
GU	GUTTER
+100.00	SPOT ELEVATION

**PARCEL 48-001-04-0697-003**  
**LEGAL DESCRIPTION**

A PARCEL OF LAND LOCATED IN THE N.E. 1/4 OF SECTION 3, T. 1 S., R. 8 E., CITY OF NORTHVILLE, WAYNE COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBES AS:  
 PART OF LOT 697 OF ASSESSOR'S NORTHVILLE PLAT NO. 7 OF BLOCKS 9, 10 AND 11 OF PLAT OF THE VILLAGE OF NORTHVILLE, AS RECORDED IN LIBER 66 OF PLATS, PAGE 47, WAYNE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 697; THENCE NORTH 85°23'00" EAST 88.68 FEET ALONG THE NORTH LINE OF SAID LOT 697, SAID LINE ALSO BEING THE SOUTH LINE OF DUNLAP STREET (66 FEET WIDE); THENCE SOUTH 01°26'54" EAST 46.00 FEET; THENCE SOUTH 85°34'40" WEST 35.39 FEET; THENCE NORTH 01°26'54" WEST 5.00 FEET; THENCE SOUTH 85°34'40" WEST 53.42 FEET TO A POINT ON THE EAST LINE OF NORTH CENTER STREET (62 FEET WIDE); AND THENCE NORTH 01°14'20" WEST 40.66 FEET ALONG THE WEST LINE OF SAID LOT 697, SAID LINE ALSO BEING SAID EAST LINE OF NORTH CENTER STREET (62 FEET WIDE) TO THE POINT OF BEGINNING.

**PARCEL 48-001-04-0697-005**  
**LEGAL DESCRIPTION**

A PARCEL OF LAND LOCATED IN THE N.E. 1/4 OF SECTION 3, T. 1 S., R. 8 E., CITY OF NORTHVILLE, WAYNE COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBES AS:  
 THE SOUTH 19.90 FEET OF THE WEST 53.42 FEET OF LOT 697, AND THE SOUTH 14.90 FEET OF THE EAST 47.71 FEET OF LOT 697, EXCEPT THE EAST 12 FEET THEREOF, OF ASSESSOR'S NORTHVILLE PLAT NO. 7, OF BLOCKS 9, 10 AND 11 AS RECORDED IN LIBER 66 OF PLATS, PAGE 47, WAYNE COUNTY RECORDS.



- NOTES:**
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF ALL STRUCTURES, KNOWN OR UNKNOWN, SHOWN OR UNSHOWN, LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IF ANY SUCH STRUCTURES ARE IDENTIFIED. ALL COSTS ASSOCIATED WITH LOCATING AND ADJUSTING THESE STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  3. DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE, OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSMIT SUCH INFORMATION FOR ITS USE OF THE PROJECT. IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM, THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.

REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY
PC REVIEW	6/22/2020										

**ZEMET WOZNAK & ASSOCIATES**  
 Civil Engineers & Land Surveyors  
 5580 GRAND RIVER AVE., SUITE 100  
 NEW HUDSON, MICHIGAN 48165  
 P: (248) 437-5099 F: (248) 437-5222 www.zemetwozniak.com

**MISS DIG SYSTEM, INC.**  
 THREE FULL WORKING DAYS BEFORE YOU DIG. CALL THE MISS DIG SYSTEM 1-800-482-7171

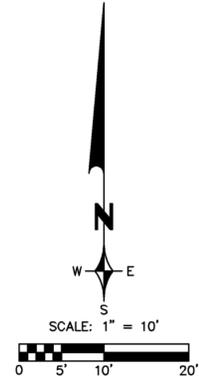
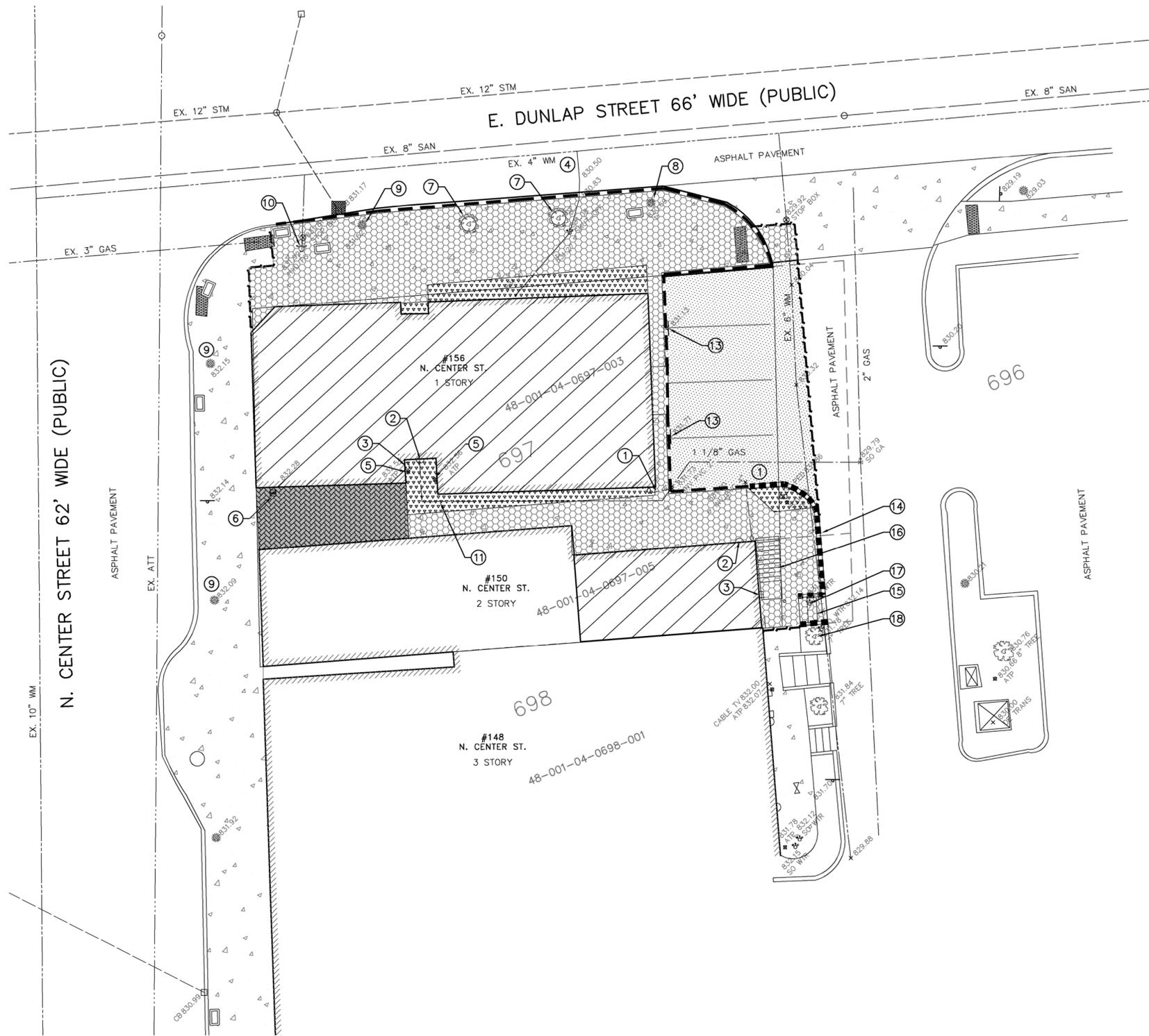
**PROJECT SPONSOR:**  
**M ARCHITECTS**  
 114 RAYSON ST., STE. 2C  
 NORTHVILLE, MI 48167 248.349.2708

**EXISTING CONDITIONS**  
**156 N. CENTER STREET**  
 NORTHVILLE, MICHIGAN

DATE	3/17/20	SCALE	HOR: 1" = 10'
DESIGNED BY	SRB	JOB NO.	19125
DRAWN BY	SRB	SHEET	S-1



Z:\Projects\19125\DWG\19125 Ex. Conditions.dwg - S-1 EXISTING CONDITIONS. 6/23/2020 12:39:24 PM. sblaszczk



- REMOVALS LEGEND:**
-  REMOVE BUILDING AND FOUNDATION
  -  REMOVE EXISTING BRICK PAVERS
  -  REMOVE EXISTING ASPHALT PAVEMENT AND BASE
  -  REMOVE EXISTING CONCRETE
  -  REMOVE EXISTING LANDSCAPING/VEGETATION
  -  REMOVE EXISTING CURB AND GUTTER
  -  REMOVE EXISTING WALL
  -  FULL DEPTH SAWCUT (EXACT LIMITS TO BE DETERMINED IN FIELD)
  -  INLET FILTER (SILT SACK)

- NOTE KEY:**
- ① REMOVE EXISTING PVC PIPE. (COORDINATE WITH GAS COMPANY)
  - ② REMOVE EXISTING GAS METER. (COORDINATE WITH GAS COMPANY)
  - ③ REMOVE EXISTING ELECTRIC METER. (COORDINATE WITH ELECTRIC COMPANY)
  - ④ CUT AND CAP EXISTING WATER SERVICE AT SHUT-OFF. (COORDINATE WITH CITY DPW)
  - ⑤ REMOVE EXISTING PEDESTAL. (COORDINATE WITH UTILITY COMPANY)
  - ⑥ REMOVE/RELOCATE EXISTING MAILBOX. (COORDINATE WITH POSTAL SERVICE)
  - ⑦ REMOVE EXISTING TREE, ROOTS, STUMP AND WELL.
  - ⑧ REMOVE EXISTING LIGHT POLE, ELECTRICAL BOX AND BASE.
  - ⑨ PROTECT EXISTING LIGHT POLE THROUGHOUT CONSTRUCTION.
  - ⑩ PROTECT EXISTING HYDRANT THROUGHOUT CONSTRUCTION.
  - ⑪ REMOVE EXISTING GAS SERVICE. CUT AND CAP AT MAIN.
  - ⑫ LOCATION OF EXISTING SANITARY SERVICE IS UNKNOWN. CONTRACTOR TO LOCATE IN FIELD AND CUT CAP SERVICE OUTSIDE OF PROPOSED BUILDING LIMITS.
  - ⑬ REMOVE EXISTING SIGN AND POST.
  - ⑭ REMOVE EXISTING WALL.
  - ⑮ REMOVE EXISTING STEPS.
  - ⑯ REMOVE EXISTING STAIRWAY.
  - ⑰ ADJUST EXISTING SHUT-OFF TO PROPOSED GRADE.
  - ⑱ PROTECT EXISTING TREE THROUGHOUT CONSTRUCTION.

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PC REVIEW	6/22/2020										

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 NORTHVILLE, MI 48167 248.349.2708

**SITE PREPARATION PLAN**  
**156 N. CENTER STREET**  
 NORTHVILLE, MICHIGAN

DATE: 3/17/20 SCALE: HOR: 1" = 10' VER: 1" = N/A  
 DESIGNED BY: SRB JOB NO.: 19125  
 DRAWN BY: SRB SHEET: S-2

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**GENERAL UTILITY NOTES:**

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF NORTHVILLE.
2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES, WHICH MIGHT AFFECT THIS JOB.
3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
4. WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
5. EXACT GRADES AND DEPTHS OF UTILITIES ARE TO BE CHECKED CLOSELY PRIOR TO INSTALLATION.
6. REFER TO CITY OF NORTHVILLE STANDARD DETAIL SHEETS FOR ADDITIONAL INFORMATION.

**SANITARY SEWER NOTES:**

1. DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
2. ALL SANITARY LEADS SHALL BE CONSTRUCTED OF PVC SDR 23.5 AT 1.00% MINIMUM SLOPE WITH A MINIMUM DIAMETER OF 6 INCHES.
3. ALL SANITARY SEWER MAIN SHALL BE CONSIDERED OF SDR 26 PIPE WITH A MINIMUM DIAMETER OF 8" PER CITY REQUIREMENTS.
4. JOINTS FOR P.V.C SOLID WALL PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) AS SPECIFIED IN ASTM DESIGNATION D-3212.
5. REFER TO CITY OF NORTHVILLE DETAILS FOR PIPE BEDDING DETAILS.
6. REFER TO CITY OF NORTHVILLE SANITARY SEWER DETAIL SHEETS FOR ADDITIONAL INFORMATION.

**WATER MAIN NOTES:**

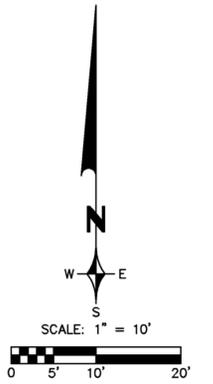
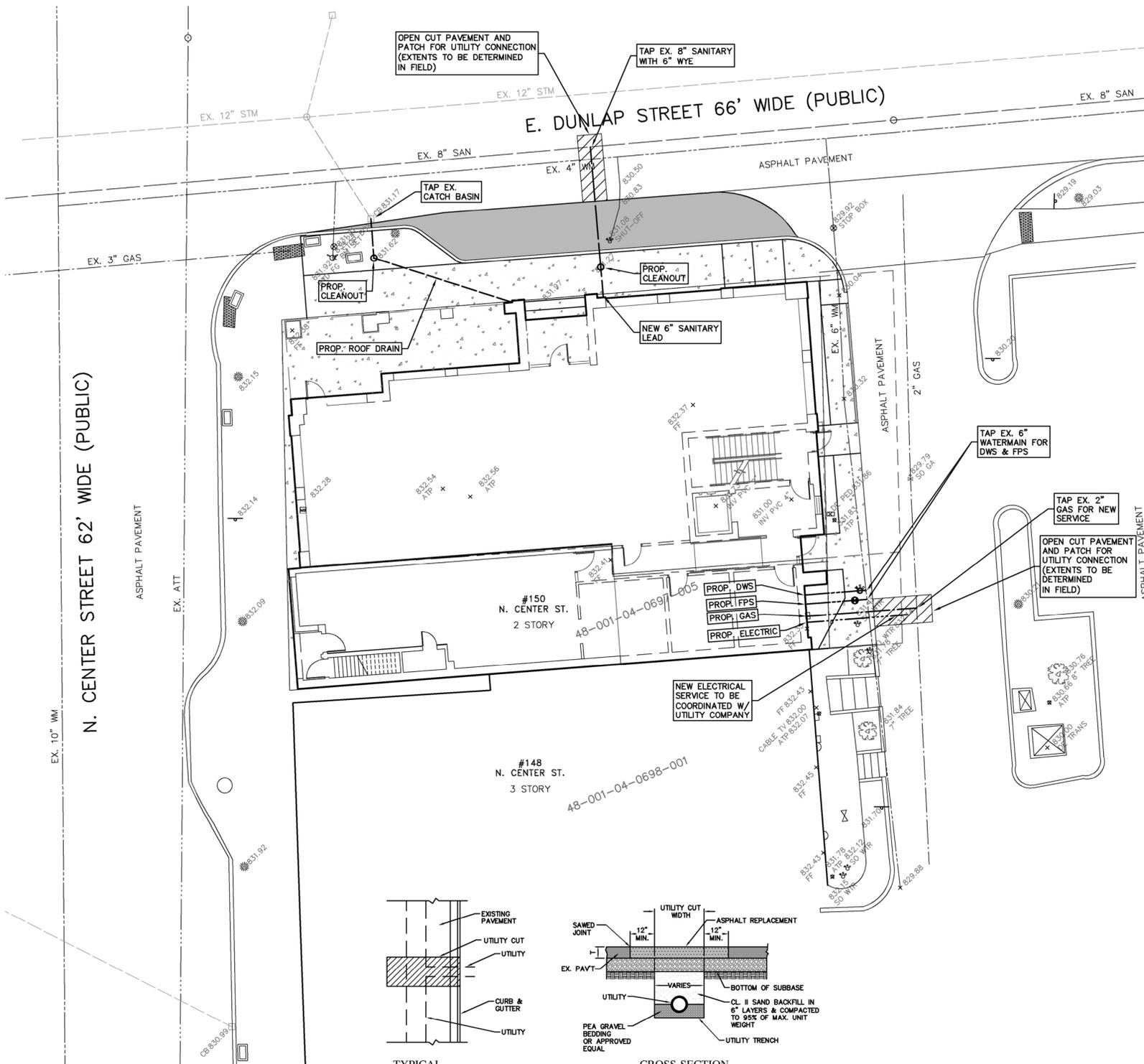
1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5°) DEGREE BENDS, PROPERLY ANCHORED.
2. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NORTHVILLE.
3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY FIVE (45°) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95%) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
4. ALL TEE'S, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
5. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
6. MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATER MAIN AND ANY SANITARY SEWER OR STRUCTURE.
7. ALL WATER MAIN 3 INCHES OR LARGER SHALL BE DUCTILE IRON CLASS 54 WITH POLYETHYLENE WRAP.
8. ALL WATER SERVICES SMALLER THAN 3 INCHES SHALL BE TYPE "K" COPPER.
9. REFER TO CITY OF NORTHVILLE WATER MAIN DETAIL SHEETS FOR ADDITIONAL INFORMATION.

**STORM SEWER NOTES:**

1. ALL STORM SEWER 12" AND LARGER SHALL BE RCP CLASS IV UNLESS OTHERWISE NOTED. REFER TO CITY OF NORTHVILLE STANDARD DETAILS SHEET FOR STANDARD BEDDING DETAILS.
2. JOINTS FOR ALL STORM SEWER 12" AND LARGER SHALL BE MODIFIED TONGUE AND GROOVE JOINT WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).
3. ALL STORM SEWER LEADS SHALL BE CONSTRUCTED OF PVC SDR 23.5 PIPE AT 1.00% MINIMUM SLOPE WITH GLUED JOINTS, UNLESS OTHERWISE NOTED. REFER TO CITY OF NORTHVILLE DETAILS FOR BEDDING DETAILS.
4. REFER TO CITY OF NORTHVILLE STORM SEWER DETAIL SHEETS FOR ADDITIONAL INFORMATION.

**NOTES:**

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF ALL STRUCTURES, KNOWN OR UNKNOWN, SHOWN OR UNSHOWN, LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IF ANY SUCH STRUCTURES ARE IDENTIFIED. ALL COSTS ASSOCIATED WITH LOCATING AND ADJUSTING THESE STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE, OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSIT SUCH INFORMATION FOR ITS USE OF THE PROJECT. IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM, THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.



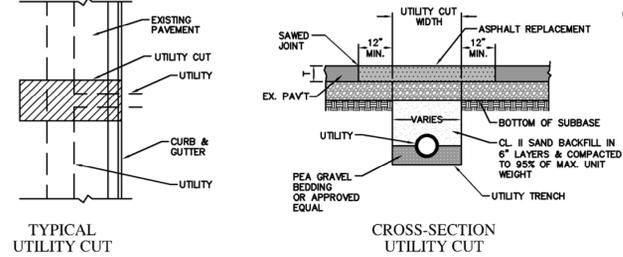
**UTILITY LEGEND**

**EXISTING**

- MANHOLE
- CATCH BASIN
- ◻ INLET
- ◻ CLEANOUT
- ◻ END SECTION
- ◻ ROOF DRAIN
- ◻ GATE VALVE
- ◻ HYDRANT
- ◻ WATER SHUT-OFF
- ◻ UTILITY POLE
- ◻ GUY ANCHOR
- ◻ LIGHT POLE
- ◻ SIGN
- ◻ TREE
- TREE LINE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- ELECTRIC CABLE

**PROPOSED**

- MANHOLE
- CATCH BASIN
- INLET
- CLEANOUT
- END SECTION
- ROOF DRAIN
- GATE VALVE
- HYDRANT
- WATER SHUT-OFF
- TREE REMOVAL
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- ELECTRIC CABLE



**NOTES:**

1. WHERE PAVEMENT REPLACEMENT DOES NOT IMMEDIATELY FOLLOW BACK-FILL OPERATION, A TEMPORARY SURFACING SHALL BE PLACED AS DIRECTED BY THE CITY ENGINEER.
2. ASPHALT PAVEMENT SHALL MEET CURRENT M.DOT SPECIFICATIONS.
3. WHEN REPLACING PAVEMENT, REPLACE IN KIND AND THICKNESS.
4. THE BACKFILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 9" IN THICKNESS, AND COMPACTED WITH A MECHANICALLY OPERATED HAND-HELD VIBRATING OR IMPACT TYPE COMPACTOR. WHEN CONTROLLED DENSITY IS CALLED FOR, BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
5. WHEN THE PATCH IS AGGREGATE AND BITUMINOUS, THE ASPHALTIC MIXTURE SHALL BE #100 OR BETTER. COMPACTION SHALL BE ACCOMPLISHED BY MEANS OF A POWERED ROLLER OR VIBRATORY COMPACTOR.
6. WHEN CURB, CURB AND GUTTER, VALLEY GUTTER AND/OR SHOULDERS ARE REMOVED OR DAMAGED AS PART OF THE UTILITY CUT, THEY SHALL BE REPAIRED OR REPLACED IN KIND USING THE BARS.
7. EXCESS EXCAVATED MATERIAL SHALL BE PROMPTLY REMOVED.

**UTILITY CUT AND PAVEMENT REPLACEMENT**  
NOT TO SCALE

REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY
PC REVIEW	6/22/2020										

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Civil Engineers & Land Surveyors  
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**SITE UTILITY PLAN**  
156 N. CENTER STREET  
NORTHVILLE, MICHIGAN

DATE	3/17/20	SCALE	HOR: 1" = 10'	VER: 1" = N/A
DESIGNED BY	SRB	JOB NO.	19125	
DRAWN BY	SRB	SHEET	S-4	





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PROJECT

NEW BUILDING AND BUILDING ADDITION at 150 / 156 North Center Street Northville, MI 481467

PROJECT ADDRESS

150 / 156 North Center Street Northville, MI 48167

PROJECT NUMBER

19.18

SHEET NAME

EXISTING PHOTOGRAPHS

SHEET NUMBER

A100



EXISTING LOOKING SOUTHEAST

IMAGE NUMBER  
**E-8.0**



EXISTING LOOKING EAST

IMAGE NUMBER  
**E-7.0**



EXISTING LOOKING SOUTHEAST

IMAGE NUMBER  
**E-6.0**



EXISTING LOOKING SOUTH

IMAGE NUMBER  
**E-5.0**



EXISTING LOOKING NORTHEAST

IMAGE NUMBER  
**E-4.0**



EXISTING LOOKING WEST

IMAGE NUMBER  
**E-3.0**



EXISTING LOOKING SOUTHWEST

IMAGE NUMBER  
**E-2.0**



EXISTING LOOKING NORTHWEST

IMAGE NUMBER  
**E-1.0**

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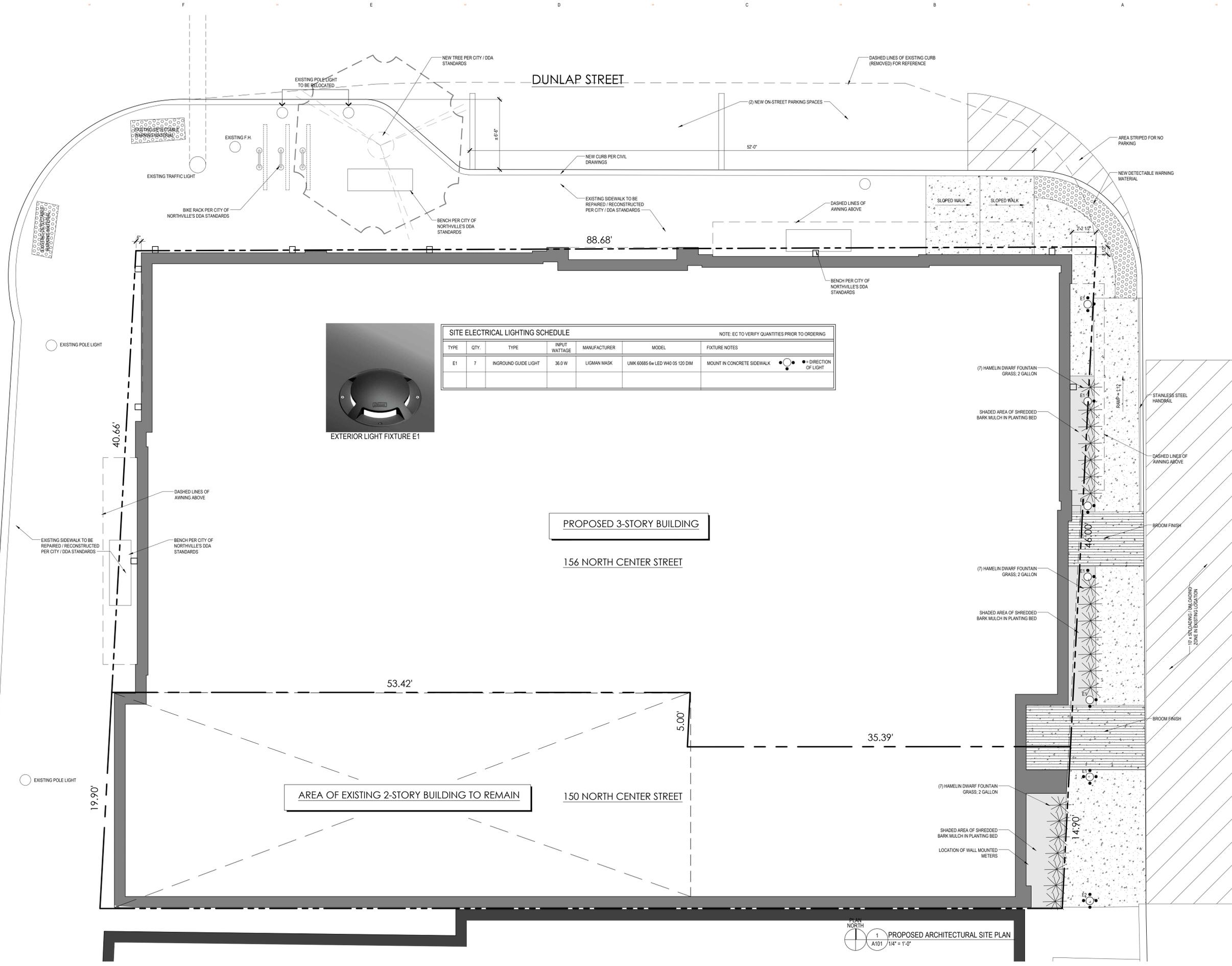
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SHEET NAME  
 PROPOSED ARCHITECTURAL SITE PLAN

SHEET NUMBER

A101



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NORTH CENTER STREET

DUNLAP STREET

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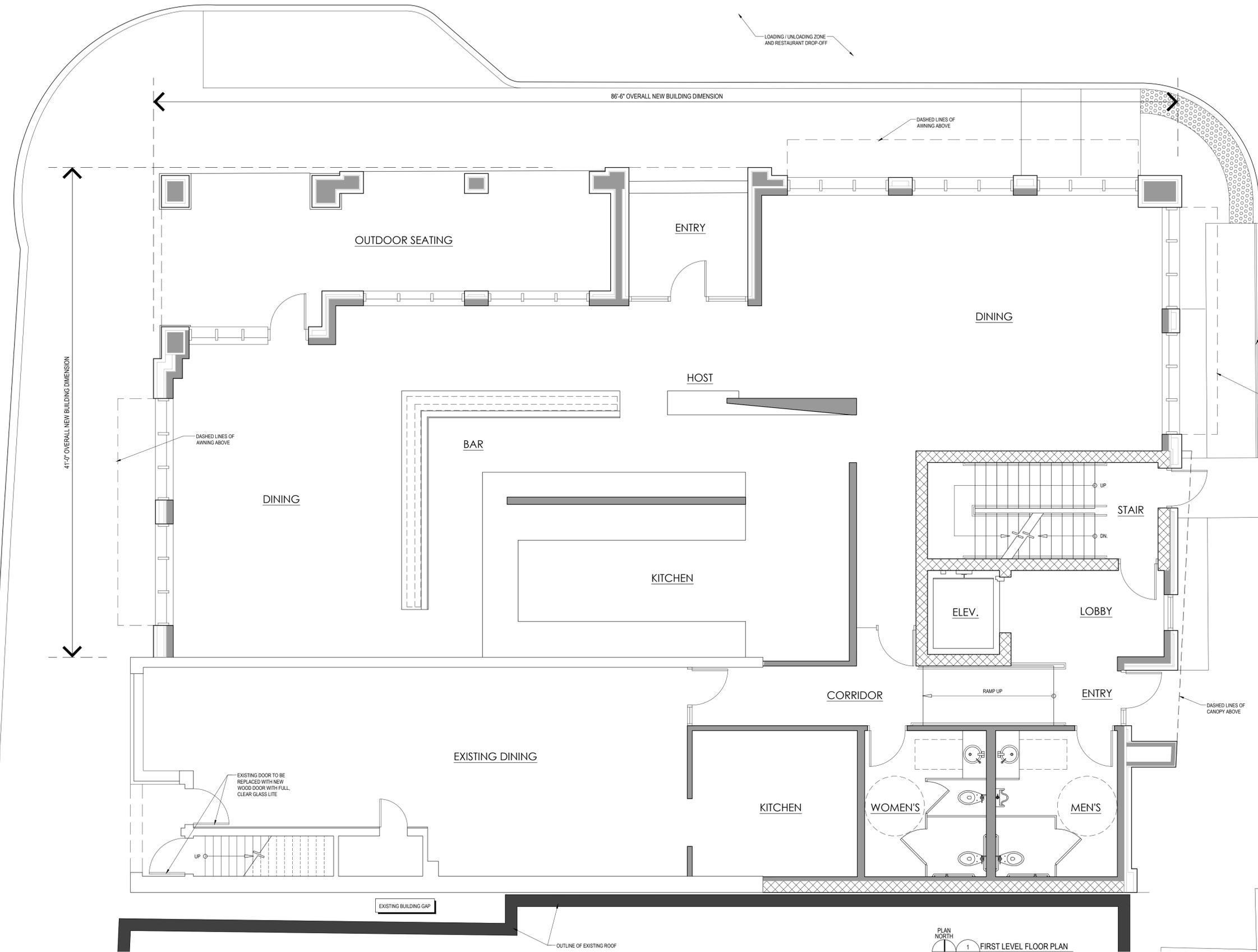
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SHEET NAME  
FIRST LEVEL FLOOR PLAN

SHEET NUMBER



PLAN NORTH  
1 FIRST LEVEL FLOOR PLAN  
A102 1/4" = 1'-0"

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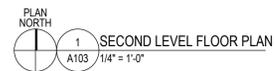
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SHEET NAME  
SECOND LEVEL FLOOR PLAN

SHEET NUMBER

A103



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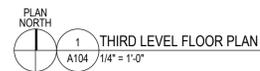
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SHEET NAME  
THIRD LEVEL FLOOR PLAN

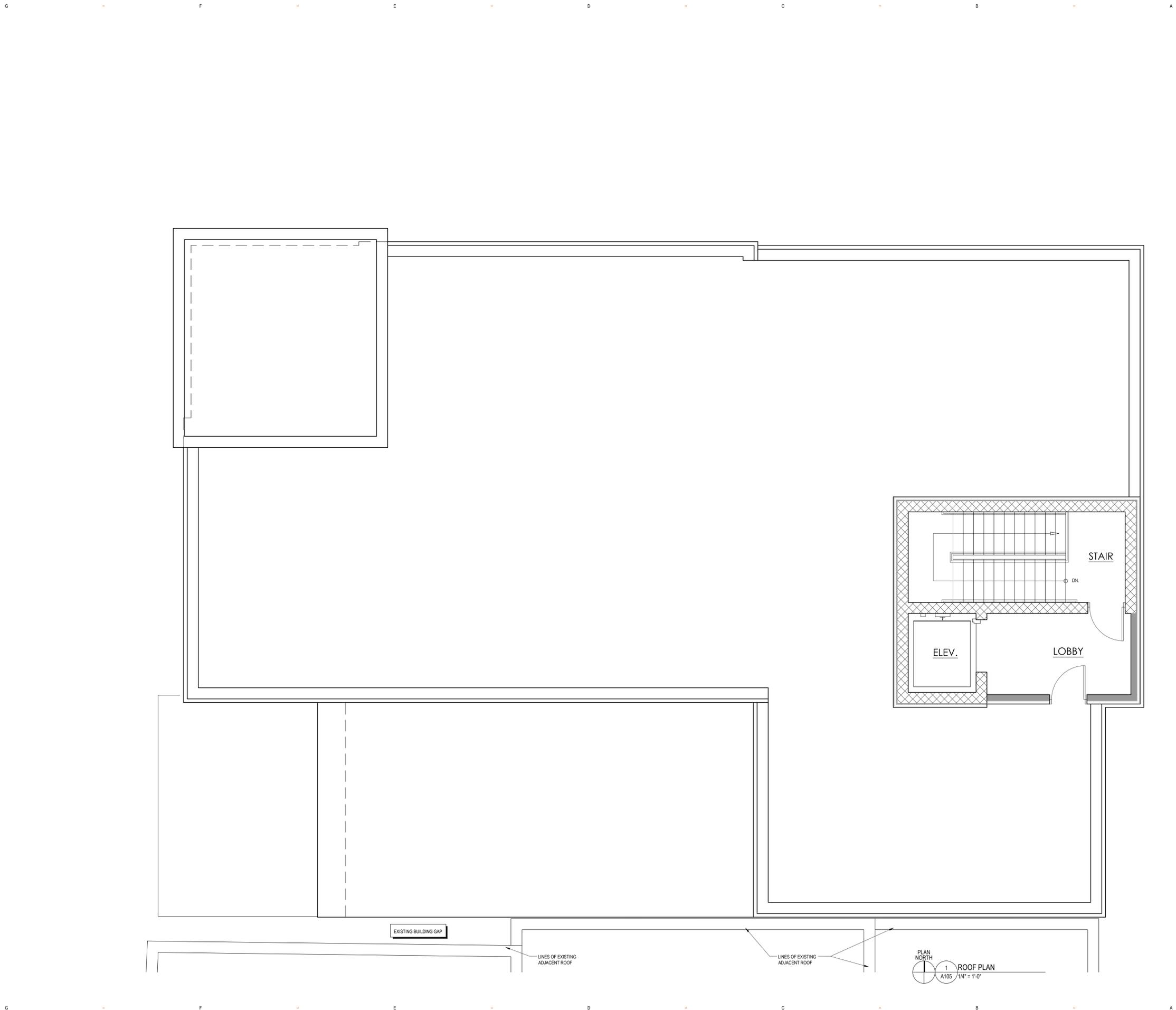
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SHEET NAME  
 ROOF PLAN

SHEET NUMBER

A105

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SHEET NAME  
 EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER

A301



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**MATERIAL LEGEND**  
NOT TO SCALE

MATERIAL INFORMATION	
1	BRICK 1: GLEN-GERY BRICK TOLEDO GREY S75 MODULAR SOLOMON DEEP BROWN 37X
2	BRICK 2: GLEN-GERY OYSTER GREY S156 MODULAR SOLOMON LIGHT BLUFF 10X
3	ENGINEERED WOOD 1: SIMILAR TO TRESPA METEON SLATE WOOD NW22/ST
4	ENGINEERED WOOD 2: SIMILAR TO TRESPA METEON HARMONY OAK NW03
5	PAINT 1: SHERWIN WILLIAMS SW7599 BRICK PAVER
6	PAINT 2: SHERWIN WILLIAMS SW6105 DIVINE WHITE
7	FABRIC AWNING: MATCH PAINT 1
8	ALUMINUM COPING 1: SIMILAR TO PAC-CLAD MATTE BLACK
9	ALUMINUM COPING 2: SIMILAR TO SHERWIN WILLIAMS SW9091 HALF-CAFF
10	WINDOW FRAMES: ANODIZED BLACK

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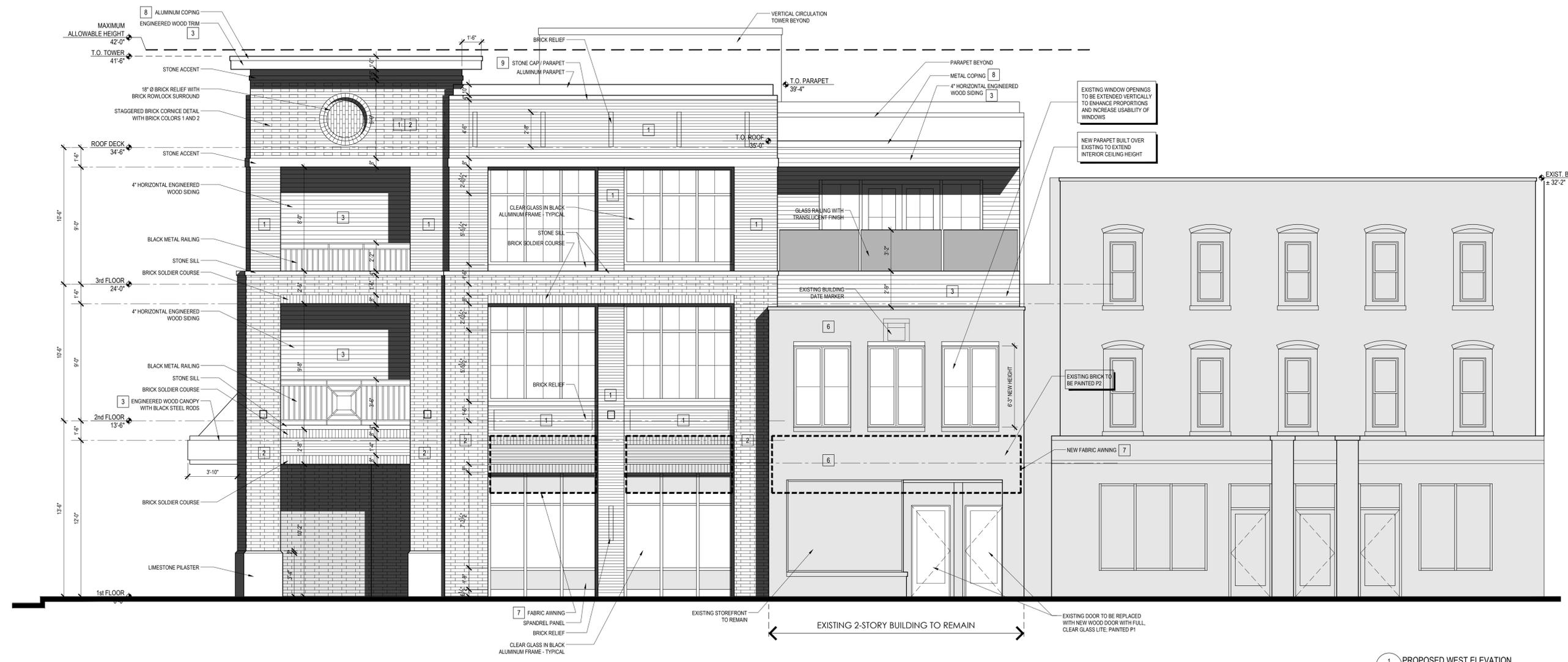
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SHEET NAME  
 PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

A302



1 PROPOSED WEST ELEVATION  
 A302 1/4" = 1'-0"

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SHEET NAME  
 PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

A303

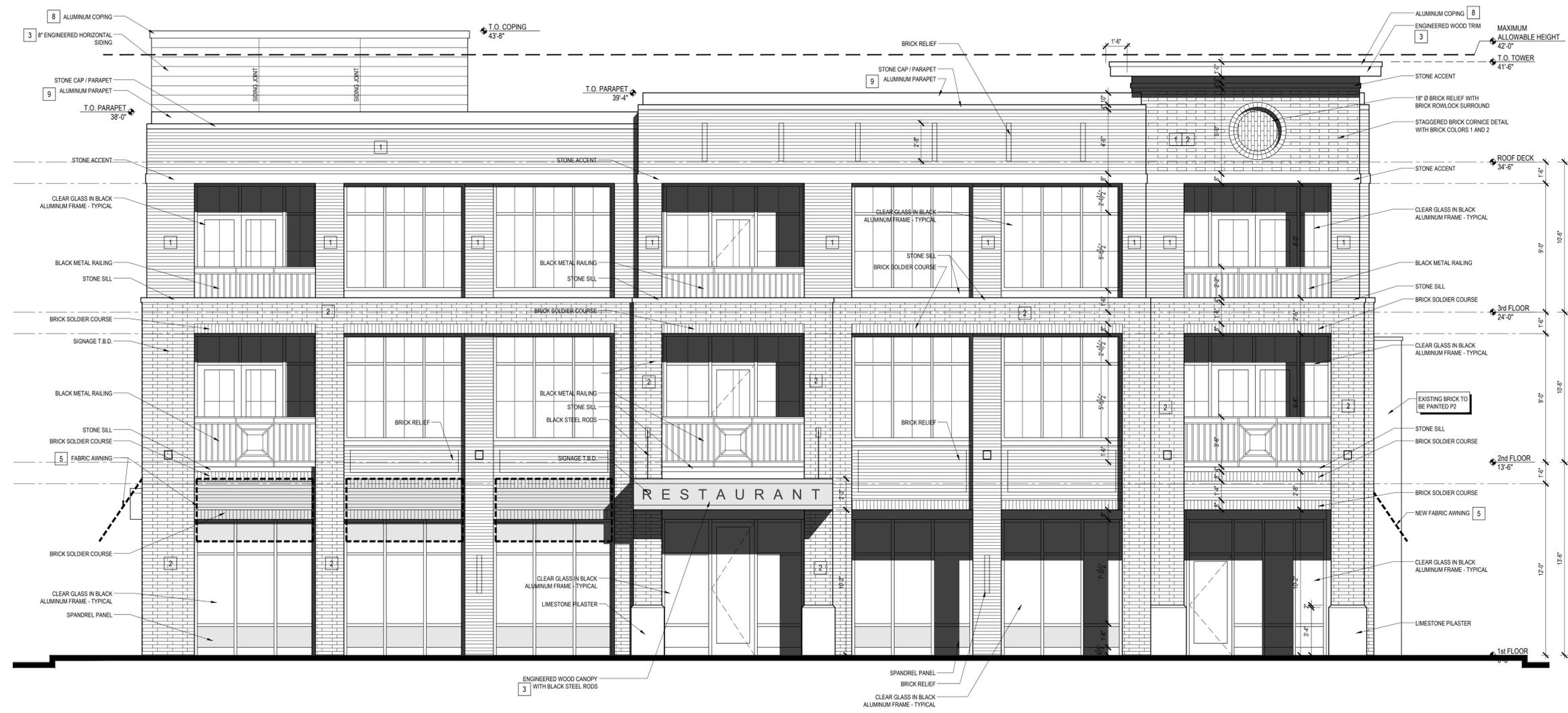
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MATERIAL LEGEND  
 NOT TO SCALE

MATERIAL INFORMATION	
1	BRICK 1: GLEN-GERY BRICK TOLEDO GREY ST5 MODULAR GROUT 1: SOLOMON DEEP BROWN 3TX
2	BRICK 2: GLEN-GERY OYSTER GREY S156 MODULAR GROUT 2: SOLOMON LIGHT BLUFF 10X
3	ENGINEERED WOOD 1: SIMILAR TO TRESPA METEON SLATE WOOD NW22ST
4	ENGINEERED WOOD 2: SIMILAR TO TRESPA METEON HARMONY OAK NW03
5	PAINT 1: SHERWIN WILLIAMS SW7599 BRICK PAVER
6	PAINT 2: SHERWIN WILLIAMS SW6105 DIVINE WHITE
7	FABRIC AWNING: MATCH PAINT 1
8	ALUMINUM COPING 1: SIMILAR TO PAC-CLAD: MATTE BLACK
9	ALUMINUM COPING 2: SIMILAR TO SHERWIN WILLIAMS SW9091 HALF-CAFF
10	WINDOW FRAMES: ANODIZED BLACK



1 PROPOSED NORTH ELEVATION  
 A303 1/4" = 1'-0"

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PROJECT ADDRESS  
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PROJECT NUMBER  
 19.18

SHEET NAME  
 PROPOSED EXTERIOR  
 ELEVATIONS

SHEET NUMBER

A304

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MATERIAL LEGEND  
 NOT TO SCALE

MATERIAL INFORMATION	
1	BRICK 1: GLEN-GERY BRICK TOLEDO GREY ST5 MODULAR GROUT 1: SOLOMON DEEP BROWN 3TX
2	BRICK 2: GLEN-GERY OYSTER GREY SISS6 MODULAR GROUT 2: SOLOMON LIGHT BLUFF 10X
3	ENGINEERED WOOD 1: SIMILAR TO TRESPA METEON SLATE WOOD NW22ST
4	ENGINEERED WOOD 2: SIMILAR TO TRESPA METEON HARMONY OAK NW03
5	PAINT 1: SHERWIN WILLIAMS SW7599 BRICK PAVER
6	PAINT 2: SHERWIN WILLIAMS SW6105 DIVINE WHITE
7	FABRIC AWNING: MATCH PAINT 1
8	ALUMINUM COPING 1: SIMILAR TO PAC-CLAD: MATTE BLACK
9	ALUMINUM COPING 2: SIMILAR TO SHERWIN WILLIAMS SW9091 HALF-CAFF
10	WINDOW FRAMES: ANODIZED BLACK



1 PROPOSED EAST ELEVATION  
 A304 1/4" = 1'-0"

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PROJECT  
 NEW BUILDING AND BUILDING ADDITION  
 at  
 150 / 156 North Center Street  
 Northville, MI 481467

PROJECT ADDRESS  
 150 / 156 North Center Street  
 Northville, MI 48167

PROJECT NUMBER  
 19.18

SHEET NAME  
 PROPOSED EXTERIOR ELEVATIONS

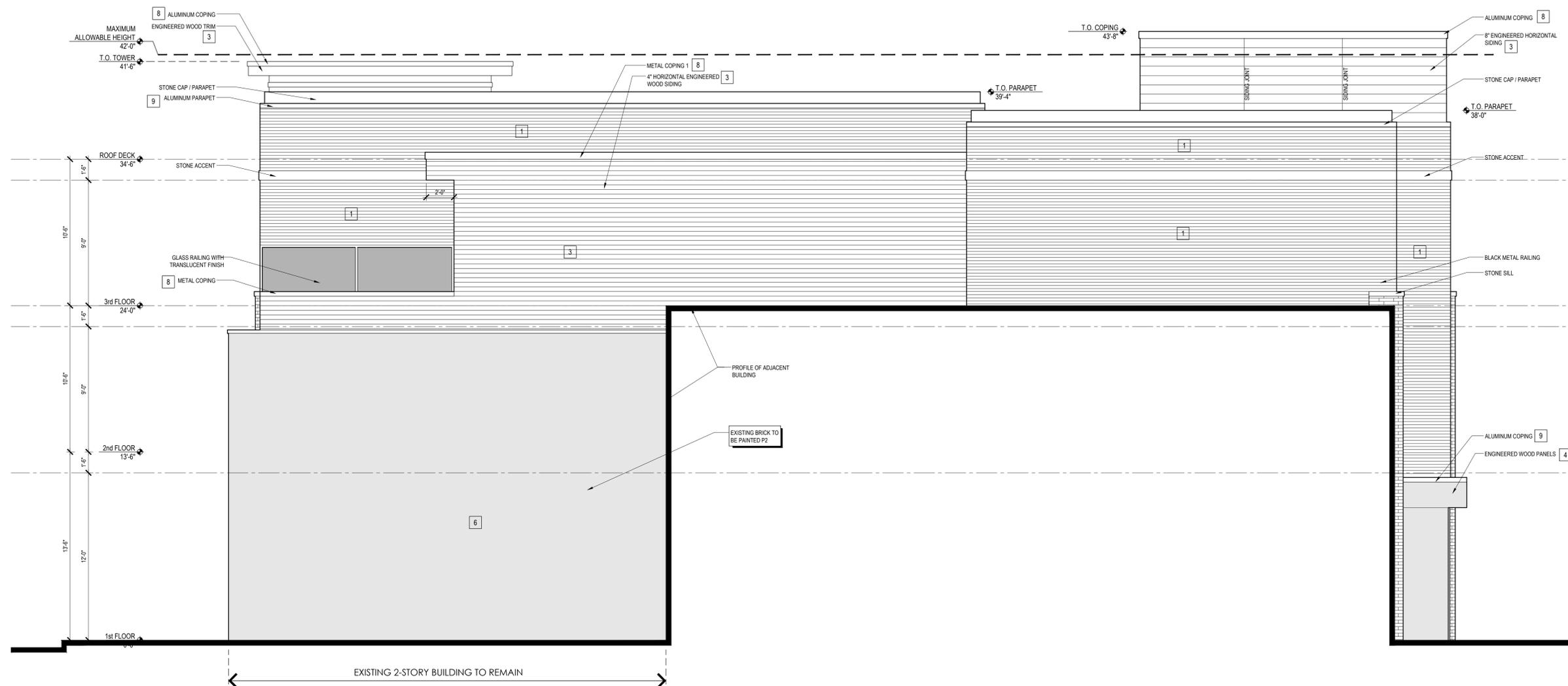
SHEET NUMBER

A305



MATERIAL INFORMATION	
1	BRICK 1: GLEN-GERY BRICK TOLEDO GREY S75 MODULAR GROUT 1: SOLOMON DEEP BROWN 37X
2	BRICK 2: GLEN-GERY OYSTER GREY S156 MODULAR GROUT 2: SOLOMON LIGHT BLUFF 10X
3	ENGINEERED WOOD 1: SIMILAR TO TRESPA METEON SLATE WOOD NW22/ST
4	ENGINEERED WOOD 2: SIMILAR TO TRESPA METEON HARMONY OAK NW03
5	PAIN 1: SHERWIN WILLIAMS SW7599 BRICK PAVER
6	PAIN 2: SHERWIN WILLIAMS SW6105 DIVINE WHITE
7	FABRIC AWNING: MATCH PAINT 1
8	ALUMINUM COPING 1: SIMILAR TO PAC-CLAD: MATTE BLACK
9	ALUMINUM COPING 2: SIMILAR TO SHERWIN WILLIAMS: SW9091 HALF-CAFF
10	WINDOW FRAMES: ANODIZED BLACK

MATERIAL LEGEND  
 NOT TO SCALE



1 PROPOSED SOUTH ELEVATION  
 A305 1/4" = 1'-0"

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NOT FOR CONSTRUCTION

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PROJECT

NEW BUILDING AND  
BUILDING ADDITION  
at  
150 / 156 North Center Street  
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PROJECT ADDRESS

150 / 156 North Center Street  
Northville, MI 48167

PROJECT NUMBER

19.18

SHEET NAME

RENDERINGS

SHEET NUMBER

A306



3 VIEW LOOKING NORTH  
A306 NOT TO SCALE



2 VIEW LOOKING SOUTHEAST  
A306 NOT TO SCALE



1 VIEW LOOKING NORTHEAST  
A306 NOT TO SCALE

Act No. 124  
 Public Acts of 2020  
 Approved by the Governor  
 July 1, 2020  
 Filed with the Secretary of State  
 July 1, 2020  
 EFFECTIVE DATE: July 1, 2020

**STATE OF MICHIGAN  
 100TH LEGISLATURE  
 REGULAR SESSION OF 2020**

**Introduced by Reps. Webber, Sabo, Steven Johnson, Bollin, Slagh, Rendon, Paquette, Crawford, Hall, Huizenga, Kahle, Lightner, Meerman, Hood, Elder, Leutheuser and Reilly**

## **ENROLLED HOUSE BILL No. 5781**

AN ACT to amend 1998 PA 58, entitled “An act to create a commission for the control of the alcoholic beverage traffic within this state, and to prescribe its powers, duties, and limitations; to provide for powers and duties for certain state departments and agencies; to impose certain taxes for certain purposes; to provide for the control of the alcoholic liquor traffic within this state and to provide for the power to establish state liquor stores; to prohibit the use of certain devices for the dispensing of alcoholic vapor; to provide for the care and treatment of alcoholics; to provide for the incorporation of farmer cooperative wineries and the granting of certain rights and privileges to those cooperatives; to provide for the licensing and taxation of activities regulated under this act and the disposition of the money received under this act; to prescribe liability for retail licensees under certain circumstances and to require security for that liability; to provide procedures, defenses, and remedies regarding violations of this act; to provide for the enforcement and to prescribe penalties for violations of this act; to provide for allocation of certain funds for certain purposes; to provide for the confiscation and disposition of property seized under this act; to provide referenda under certain circumstances; and to repeal acts and parts of acts,” by amending section 1021 (MCL 436.2021), as amended by 2013 PA 235, and by adding section 551.

*The People of the State of Michigan enact:*

Sec. 551. (1) The governing body of a local governmental unit may designate a social district that contains a commons area that may be used by qualified licensees that obtain a social district permit. A governing body of a local governmental unit shall not designate a social district that would close a road unless the governing body receives prior approval from the road authority with jurisdiction over the road. If the governing body of a local governmental unit designates a social district that contains a commons area under this section, the governing body must define and clearly mark the commons area with signs. The governing body shall establish local management and maintenance plans, including, but not limited to, hours of operation, for a commons area and submit those plans to the commission. The governing body shall maintain the commons area in a manner that protects the health and safety of the community. Subject to this subsection, the governing body may revoke the designation if it determines that the commons area threatens the health, safety, or welfare of the public or has become a public nuisance. Before revoking the designation, the governing body must hold at least 1 public hearing on the proposed revocation. The governing body shall give notice as required under the open meetings act, 1976 PA 267, MCL 15.261 to 15.275, of the time and place of the public hearing before the public hearing. The governing body shall file the designation or the revocation of the designation with the commission. As used in this subsection:

- (a) “Local road agency” means a county road commission or designated county road agency or city or village that is responsible for the construction or maintenance of public roads within this state.
- (b) “Road authority” means a local road agency or the state transportation department.

(2) Subject to subsection (3), the holder of a social district permit may sell alcoholic liquor for consumption within the confines of a commons area if both of the following requirements are met:

(a) The holder of the social district permit only sells and serves alcoholic liquor on the holder's licensed premises.

(b) The holder of the social district permit only serves alcoholic liquor to be consumed in the commons area in a container to which all of the following apply:

(i) The container prominently displays the social district permittee's trade name or logo or some other mark that is unique to the social district permittee under the social district permittee's on-premises license.

(ii) The container prominently displays a logo or some other mark that is unique to the commons area.

(iii) The container is not glass.

(iv) The container has a liquid capacity that does not exceed 16 ounces.

(3) If the commission issues a special license to a special licensee located in a social district, the holder of a social district permit shall not sell and serve alcoholic liquor under subsection (2) during the effective period of the special license.

(4) A purchaser may remove a container of alcoholic liquor sold by a holder of a social district permit under subsection (2) from the social district permittee's licensed premises if both of the following conditions are met:

(a) Except as otherwise provided in subdivision (b), the purchaser does not remove the container from the commons area.

(b) While possessing the container, the purchaser does not enter the licensed premises of a social district permittee other than the social district permittee from which the purchaser purchased the container.

(5) The consumption of alcoholic liquor from a container described in subsection (2)(b) in the commons area as allowed under this section may only occur during the legal hours for the sale of alcoholic liquor by the social district permittee.

(6) A qualified licensee whose licensed premises is shared by and contiguous to a commons area in a social district designated by the governing body of a local governmental unit under this section may obtain from the commission an annual social district permit as provided in this section. The social district permit must be issued for the same period and may be renewed in the same manner as the license held by the applicant. The commission shall develop an application for a social district permit and shall charge a fee of \$250.00 for a social district permit. An application for a social district permit must be approved by the governing body of the local governmental unit in which the applicant's place of business is located before the application is submitted to the commission and before the permit is granted by the commission. The \$250.00 permit fee under this subsection must be deposited into the liquor control enforcement and license investigation revolving fund under section 543(9).

(7) This section does not apply after December 31, 2024.

(8) As used in this section:

(a) "Commons area" means an area within a social district clearly designated and clearly marked by the governing body of the local governmental unit that is shared by and contiguous to the premises of at least 2 other qualified licensees. Commons area does not include the licensed premises of any qualified licensee.

(b) "Local governmental unit" means a city, township, village, or charter authority.

(c) "Qualified licensee" means any of the following:

(i) A retailer that holds a license, other than a special license, to sell alcoholic liquor for consumption on the licensed premises.

(ii) A manufacturer with an on-premises tasting room permit issued under section 536.

(iii) A manufacturer that holds an off-premises tasting room license issued under section 536.

(iv) A manufacturer that holds a joint off-premises tasting room license issued under section 536.

Sec. 1021. (1) The commission shall not require a licensee to sell or serve food to a purchaser of alcoholic liquor. The commission shall not require a class A hotel or class B hotel to provide food services to registered guests or to the public.

(2) Except as otherwise provided in section 551 and subsection (3), a purchaser shall not remove alcoholic liquor sold by a vendor for consumption on the premises from those premises.

(3) A vendor licensed to sell wine on the premises may allow an individual who has purchased a meal and who has purchased and partially consumed a bottle of wine with the meal, to remove the partially consumed bottle from the premises on departure. This subsection does not allow the removal of any additional unopened bottles of wine unless the vendor is licensed as a specially designated merchant. The licensee or the licensee's clerk, agent, or employee shall cap the bottle or reinsert a cork so that the top of the cork is level with the lip of the bottle. The

transportation or possession of the partially consumed bottle of wine shall be in compliance with section 624a of the Michigan vehicle code, 1949 PA 300, MCL 257.624a.

(4) This act and rules promulgated under this act do not prevent a class A or B hotel designed to attract and accommodate tourists and visitors in a resort area from allowing its invitees or guests to possess or consume, or both, on or about its premises alcoholic liquor purchased by the invitee or guest from an off-premises retailer and does not prevent a guest or invitee from entering and exiting the licensed premises with alcoholic liquor purchased from an off-premises retailer.

(5) Notwithstanding section 901(6), an on-premises licensee may, in a manner as determined by that licensee, allow for the consumption of wine that is produced by a wine maker, a small wine maker, or an out-of-state entity that is the substantial equivalent of a wine maker or small wine maker and that is brought into the licensed premises in its original sealed container by a consumer who is not prohibited under this act from possessing wine. The licensee shall not allow the consumer to remove a partially consumed bottle of wine brought by the consumer unless the licensee or the licensee's clerk, agent, or employee caps the bottle or reinserts the cork so that the top of the cork is level with the lip of the bottle. The licensee may charge a corkage fee for each bottle of wine brought by the consumer and opened on the premises by the licensee or the licensee's clerk, agent, or employee. This subsection does not exempt the licensee or the consumer from any other applicable requirements, responsibilities, or sanctions imposed under this act.

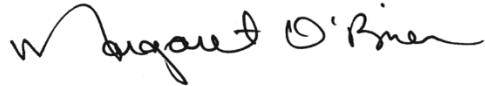
Enacting section 1. This amendatory act does not take effect unless all of the following bills of the 100th Legislature are enacted into law:

- (a) Senate Bill No. 942.
- (b) House Bill No. 5811.

This act is ordered to take immediate effect.



\_\_\_\_\_  
Clerk of the House of Representatives



\_\_\_\_\_  
Secretary of the Senate

Approved \_\_\_\_\_

\_\_\_\_\_  
Governor

# ~ Council Communications ~

To: Northville City Council

From: Lori M. Ward, DDA Director

Date: July 20, 2020

Re: Social District

## **Background:**

On July 1, 2020 Governor Whitmer signed into law the HB 5781 – the Social District legislation (Attachment A). The new law is designed to provide some relief to Michigan’s food service industry, which like so many sectors of the economy has been devastated by the pandemic and continues to face challenges with managing safety and financial stability while opening for service. The new law would allow a municipality to establish a “Social District” that would provide licensed permit holders the ability to obtain a permit to sell alcohol to customers for consumption in the commons area of a social district.

The DDA has been participating in zoom meetings on the new law, and speaking with colleagues around the state to determine how other cities intend to implement the law locally. Wayne County has prepared a presentation on social districts that was disseminated to all of the Wayne County communities (Attachment B). Because this is a new law, there are no local examples of best practices. However, the state of Ohio has a program that is very similar to the Social District called the Designated Outdoor Refreshment Area (DORA). Several dozen Ohio cities have established a DORA since the program was implemented in 2015 and information on how these programs were established and the lessons that they have learned has been helpful when discussing the development of a plan for Northville.

Downtown restaurants already participating in the Reopening Plan with expanded outdoor seating have expressed interest in the establishment of a social district. Several of the restaurants have applied for additional outdoor bar licenses; others have expressed an interest in selling street food or providing live music. The establishment of the social district will provide the restaurant owners the ability to serve a drink that could be consumed in the commons area while waiting for a table or taking a drink to go after the meal to help turn tables over more quickly. Additional tables and chairs could be added to the areas currently closed to traffic to provide additional seating that is spread out and socially distanced.



The Defiance Outdoor Refreshment Area (DORA) will launch summer 2019 within 96 acres of the downtown Defiance Central Business District.

The DORA is a designated public area where alcoholic beverages can be purchased in a designated cup from permitted establishments and carried within the district.

Defiance Development and Visitors Bureau (DDVB) pursued the creation of the DORA to add to the vibrancy of downtown Defiance and encourage more community members and visitors to stroll the area. Events and activities will be planned to enhance the existence of the DORA beginning July 2019.

Enjoying the DORA safely and appropriately is very important, so there are a few rules to follow.

1. Hours for the DORA are Monday – Saturday: 12 pm – 12 am.
2. Beverages must be purchased in DORA cups to leave an establishment and cups must stay within the boundaries. Signs will indicate those boundaries.
3. DORA cups are one time use and must be thrown away prior to entering ANY permitted establishment (business that holds a liquor license).
4. **Drink responsibly and have fun!**

A list of permitted establishments, boundaries of the DORA and additional rules and information can be found on the DDVB website; Visit [DefianceOhio.com](http://DefianceOhio.com) and click the DORA tab.

traffic to provide additional

The process to establish a Social District in Northville requires several steps. First, the Northville City Council would approve the establishment of a social district, commons area within the social district where alcohol can be consumed, and a management and maintenance plan for the district. The management plan would provide information on the hours of operation, responsibilities of each participating entity, signage and communications. The maintenance plan would provide information on how the City of Northville/DDA will maintain the commons area in a way that protects the safety and health of the community. Second, the City of Northville would submit an application to the Michigan Liquor Control Commission (MLCC) to establish a social district and commons area (Attachment C). Third, once the City's application is approved by the MLCC, qualified licensees may then apply to the MLCC for a social district permit to sell alcohol on the license holder's licensed premises for consumption in an established commons area (Attachment D). At least 2 qualified licensees must have their licensed premises contiguous to the commons area.

**Analysis:**

These past few months as the social district legislation was being deliberated in Lansing, DDA staff began to discuss with local business owner and City staff, how the establishment of a social district might be utilized as an economic development tool and benefit the community. A meeting was held in early July with several city staff members to discuss the impact of implementing the law locally. Each staff member provided a unique perspective on how the establishment of a social district would impact the safety, health, and welfare of the community. Many of the issues regarding the maintenance of the area were already discussed and remedied when the City approved the Reopening Plan for Downtown earlier this summer. The main issue that was identified specific to the establishment of a social district was how the City and DDA would monitor or patrol the commons area to ensure that alcohol does not leave the delineated area. The new law does not contain any language requiring additional enforcement of the commons area and leaves the responsibility up to the local municipality to determine the level, if any, of additional support needed. In the past, additional security has been required when alcohol is served at a special event where there are thousands of people present. While a special event application was submitted to accommodate the Reopening Downtown Plan, the expanded outdoor dining areas are not drawing thousands of people, in fact they are drawing less than a normal day of operations in a non-Covid 19 year due to reduced capacity and social distancing requirements mandated by the State.



In a zoom meeting on July 9th, Sullivan and Ward spoke to Craig Manser of MMRMA, the City's municipal risk managers to determine what, if any, additional insurance would be required. Manser stated that the City already has coverage for alcohol related claims. In addition, Manser was confirmed that the insurance purchased by the DDA for the Reopening Downtown special event scheduled through October would be sufficient. Manser also stated that he did not think security was necessary if the City posted the boundaries of the commons area sufficiently. The new law requires the commons area to be

clearly identified through signage.

While the DDA Board is recommending the use of signage and already scheduled police patrol to monitor the commons area, included in this Communications is a table showing the cost of various options utilizing private security prepared by Councilmember Moroski-Browne (Attachment E). The table shows the cost of utilizing 1 – 10 security guards for 5 hours a day and for a range of days per week.

**Budget:**

The DDA has spent roughly \$25,000 on items that were required in response to the reopening plan for Downtown Northville. These items include hiring additional seasonal staff, the purchase of additional tables, chairs, umbrellas for Old Church Square, purchase of additional trash receptacles, signage, event insurance, and music for the district (Attachment F).

**Recommendation:**

At the DDA's July Board of Directors meeting the DDA Board discussed the establishment of a social district for Northville and voted unanimously to recommend that the Northville City Council establish a social district and move forward with development of an application to submit to the MLCC. In addition, the DDA Board voted to recommend that enforcement of the boundaries of the social district and commons area be achieved through a signage program notifying patrons when they are leaving the commons area and Police Department personnel already scheduled on patrol. The DDA urged the City Council to review this policy of enforcement frequently to determine if changes need to be made or additional enforcement added.

**Recommended Motion:**

Motion to support the establishment of a social district for Downtown Northville and request that the DDA return to the City Council with an MLCC Social District Application which includes a maintenance and management plan for the district utilizing signage and on duty Police officers to enforce the district boundaries.

# City of Northville Master Plan Review/Revision

9th Update from the

Subcommittee on Public Engagement

July 21, 2020 (Virtual Meeting)

# Charge to the Subcommittee

- May review all aspects of public input regarding the amendments to the City's Master Plan, including surveys, workshops, focus groups, and similar events or techniques
- May meet with the City's planning consultant
- Advisory capacity only; no decision-making authority
- Shall provide its written recommendation to the full Planning Commission which reserves the right to accept, reject, or modify any of the recommendations

# Subcommittee Members

- Commissioner Thomas Barry
- Commissioner Jeffrey Gaines
- Commissioner Andrew Krenz
- Commissioner Donna Tinberg

# Public Engagement Process

Updates since 6/16/2020

Phase 1:  
**Informational  
Seminars**

- Online video format

*Target: May-June*

Phase 2:  
**Public Input**

- Survey #1
- Open House(s)
- Survey #2

*Target: June-September*

Phase 3:  
**Preliminary  
Planning**

- Review input
- Draft language

*Target: September-October*

Phase 4:  
**Implementation**

- Finalize language
- City Council sends draft to neighboring communities
- Formal public hearing

*Target: November-December*

# Recent Subcommittee Activities

- Survey #1
  - Email blasts in the week of 7/13/20 should reach more than 3000 inboxes
  - Posts on Facebook, Next Door
  - Highlighted in City News
  - Survey closing 7/31/20
- Community Visioning Activities in August
- Survey #2 will follow

# Anticipated Ongoing Subcommittee Work

- Continue to work with City Manager and Planning Consultant regarding:
  - Community Visioning activity
  - Survey #1 conclusion and results
  - Survey #2 development
  - Ongoing impact of public health situation on this process
- Updates to be provided to the Planning Commission at regular meetings
- Public comment opportunity at every PC meeting

# **Comments/Questions/Feedback from the Planning Commission**